

Executive RV & Boat Storage (PHASE III)

OAKLEY, CALIFORNIA

ISIDRO FARIAS
ARCHITECT
ARCHITECTURE & CONSTRUCTION MANAGEMENT

871 Vine Hill Way Tel: 925.639.8855
Martinez, CA 94553

EMAIL: FAMArchitects@sbcglobal.net

Project Team:
Architectural Design:
Isidro Farias Architect
871 Vine Hill Way
Martinez, CA 94553
Tel: 925-639-8855
Contact: Isidro Farias, Architect

Civil Engineering:
Cullen-Sherry & Associates, Inc.
1090 Adams Street, Suite A
Benicia, CA 94510
Tel: 707-745-3219
Fax: 707-745-9436
Contact: Dan Cullen, Engineer

Structural Engineering (Canopies):
BAJA Construction Co., Inc.
223 Foster Street
Martinez, CA 94553
Tel: 1-800-366-9600
Fax: 925-229-0161
Contact: Rob Preddy, Engineer

OWNER INFORMATION & PROJECT DATA

BUILDING & SITE INFORMATION:

PROJECT ADDRESS: 5220 Neroly Road
OAKLEY, CALIFORNIA

APN: 037-070-022 & 037-070-012

YEAR BUILT: NA

LOT AREA: 2.24 ACRES + 1.03 ACRES = 3.27 TOTAL PROPERTY
(Phase III Development Area @ 3.27 Acres)

OCCUPANCY: S-2 / SOLAR ARRAY STRUCTURE

CONSTRUCTION TYPE: TYPE V-A

BUILDING CODE: 2016 CALIFORNIA BUILDING CODE (AND OTHER CODES NOTED)

APPROXIMATE BUILDING AREA: 62,907 SF FOR SOLAR CARPORTS

PROJECT OWNER:

COMPANY: HAYWORTH-FABIAN, LLC

CONTACT: ROBERT HAYWORTH

PHONE NUMBER: TEL: 925-229-0732
FAX: 925-229-0161

BUILDING & SITE INFORMATION:

ZONING: LI (REDEVELOPMENT AREA)

PARKING REQUIREMENTS: 1 PARKING SPACE PER 50 UNITS

TOTAL PARKING SPACES REQ'D: 3

ACTUAL PARKING SPACES: 3 (INSIDE GATE)

LOT AREA: PHASE III DEVELOPMENT AREA 142,441 SF (3.27 ACRES)

LOT COVERAGE: 44%

NEW AREA (CANOPIES): 62,907 SF

SETBACK & HEIGHT REQUIREMENTS

BUILDING HEIGHT: 50' FEET MAXIMUM

FLOOR AREA RATIO: 67% MAXIMUM

LOT COVERAGE: 50% MAXIMUM

FRONT YARD SETBACK: 10 FEET MINIMUM

SIDE YARD SETBACK: 10 FEET MINIMUM (0' ONE SIDE)

REAR YARD SETBACK: 20 FEET WHEN ABUTTING RES. STRUCTURES (N/A)

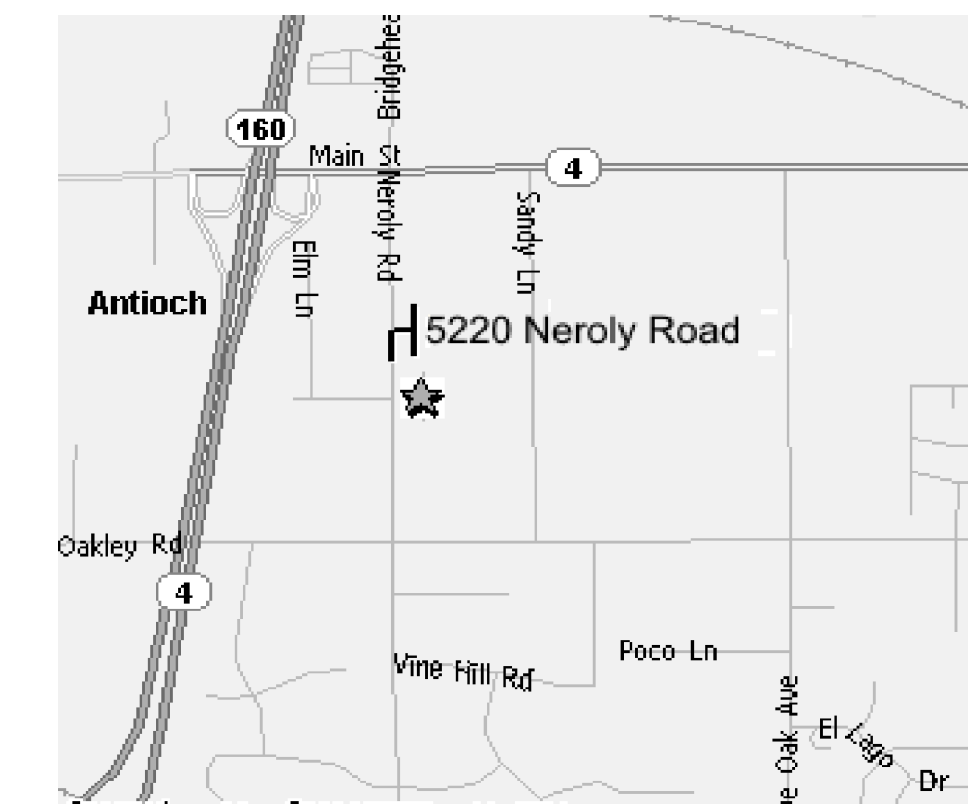
SPECIAL REQUIREMENTS

REDEVELOPMENT AREA

SPRINKLER REQUIREMENT

NO SPRINKLERS ARE REQUIRED FOR SOLAR CARPORT STRUCTURES

VICINITY MAP



CODE & LOCAL ORDINANCE COMPLIANCE

PROJECT SHALL COMPLY WITH LOCAL ORDINANCE AND FOLLOWING 2016 CODES:

- CA BUILDING CODE (CBC)
- CA MECHANICAL CODE (CMC)
- CA PLUMBING CODE (CPC)
- CA ELECTRICAL CODE (CEC)
- CA ENERGY CODE (CEnc)
- CA FIRE CODE (CFC)
- CA GREEN BUILDING STANDARDS CODE (CMC)

PROJECT SCOPE

THIS IS A SOLAR CARPORT INSTALLATION PROJECT WHICH IS PHASE III OF AN EARLIER PHASE. THE CARPORTS DO NOT HAVE ROOFS SINCE THE PV SYSTEM PROVIDES THE COVERAGE. ARRAY Q IS STRICTLY A SOLAR ARRAY WITH PV SUPPORT STRUCTURE WITH NO DEDICATED PARKING BELLOW. PHASE III IS ONLY ACCESSIBLE VIA SPECIAL GATE ACCESS. ACCESS IS CONTROLLED BY THE MAIN OFFICE ACROSS THE STREET. THIS OFFICE IS FULLY ADA COMPLIANT AND HAS PUBLIC ACCESSIBLE PARKING SPACES.

INDEX OF DRAWINGS

CIVIL PLANS:

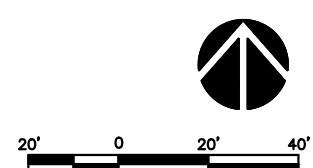
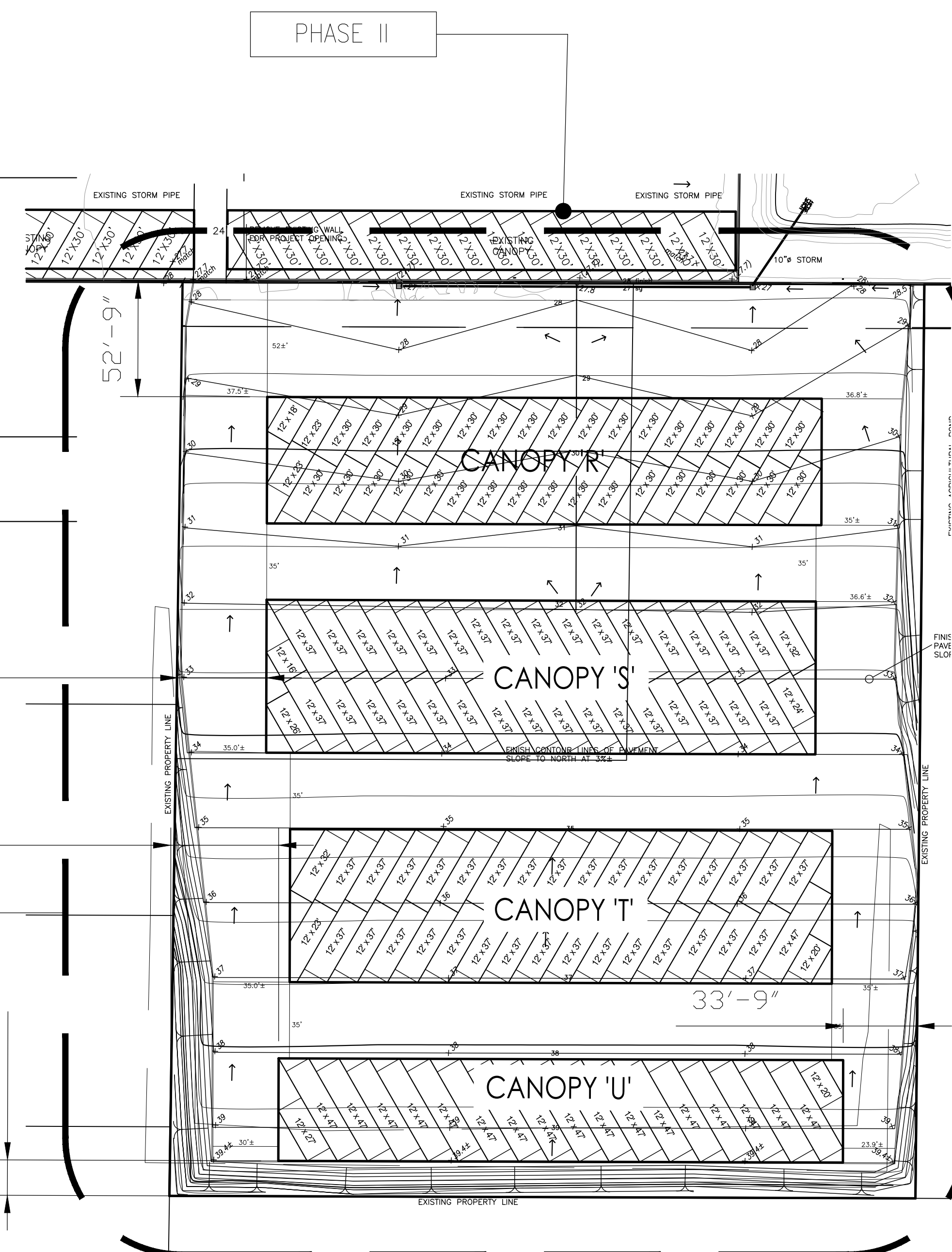
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- FRAMING PLAN & SECTION
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SITE LAYOUT

Approval Stamp



Revisions

No.	Description of Revision or Printing	Date
-	Preliminary Plans Completion	xx/xx/2018

Project Name:

Executive RV & Boat Storage
5220 Neroly Road
Oakley, CA 94561

Sheet Title:

COVER SHEET

Scale: As Noted

Proj No.:

2018-01

Owner's No.:

N/A

Date:

OCT. 5, 2018

Sheet Number:

A0.1

ISIDRO FARIAS ARCHITECT

ARCHITECTURE & CONSTRUCTION MANAGEMENT

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5220 Neroly Road
Oakley, CA 94561

Sheet Title:

PRELIMINARY SITE PLAN

Scale: As Noted

Proj No.:

2018-01

Owner's No.:

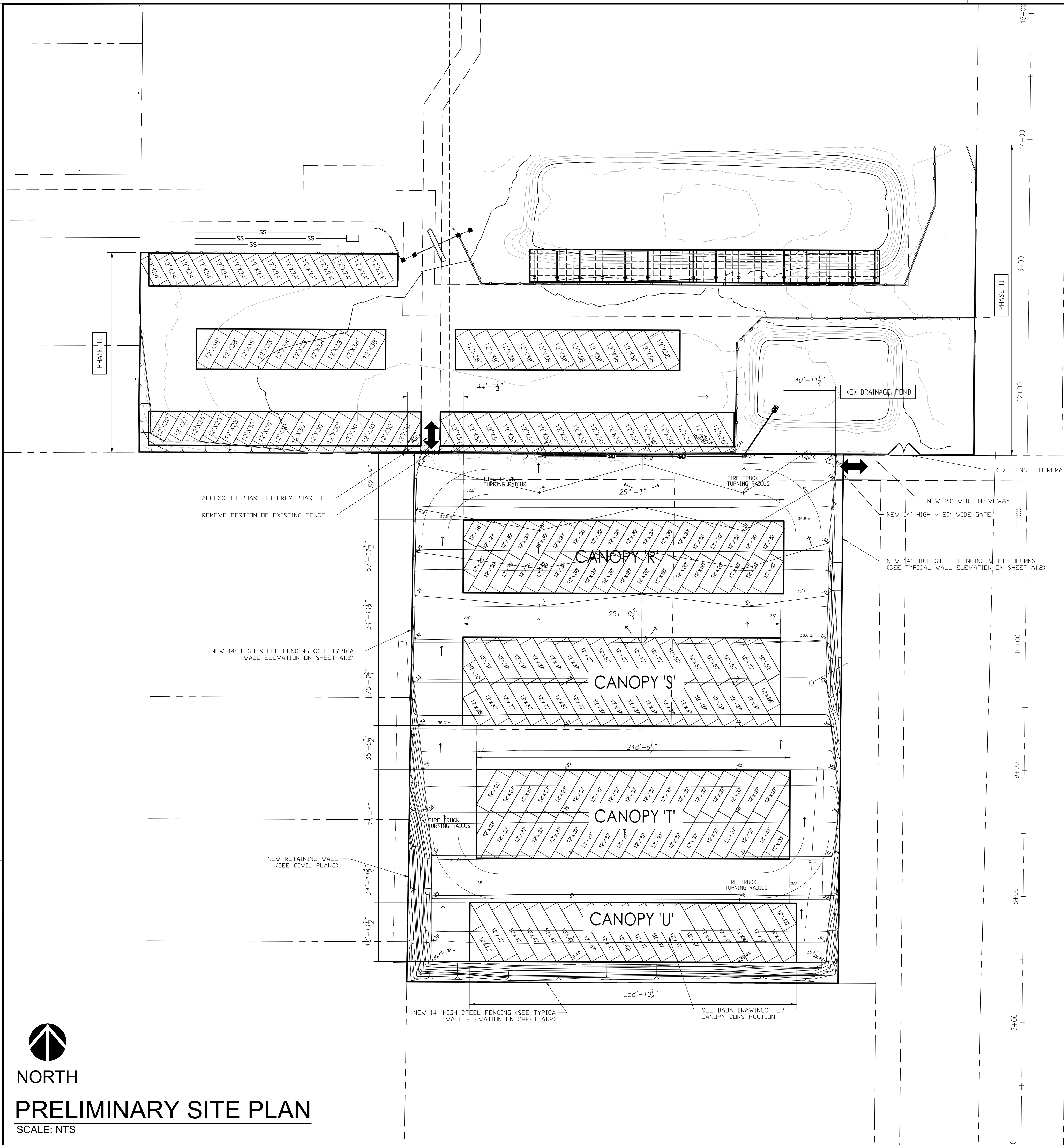
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Date:

OCT. 5, 2018

Sheet Number:

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SUMMARY CHART OF RV SPACES

BLDG. R
(33) - 12 x 30
(2) - 12 x 23
(1) - 12 x 18
AREA=+/-14,737 sqft

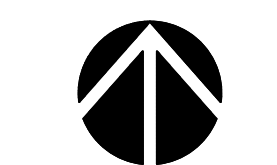
BLDG. S
(32) - 12 x 37
(1) - 12 x 32
(1) - 12 x 26
(1) - 12 x 24
(1) - 12 x 16
AREA=+/-17,419 sqft

BLDG. T
(31) - 12 x 37
(1) - 12 x 47
(1) - 12 x 32
(1) - 12 x 23
(1) - 12 x 20
AREA=+/-18,601sqft

BLDG. U
(17) - 12 x 47
(1) - 12 x 27
(1) - 12 x 20
AREA=+/-12,150 sqft

Total Spaces

±62,907 sf. - Total
132 RV COVER



NORTH

PRELIMINARY SITE PLAN

SCALE: NTS

PROJECT DATA (PHASE III)

GROSS SITE AREA (PHASE III): 142,441 SQ. FT. (3.27 ACRES)

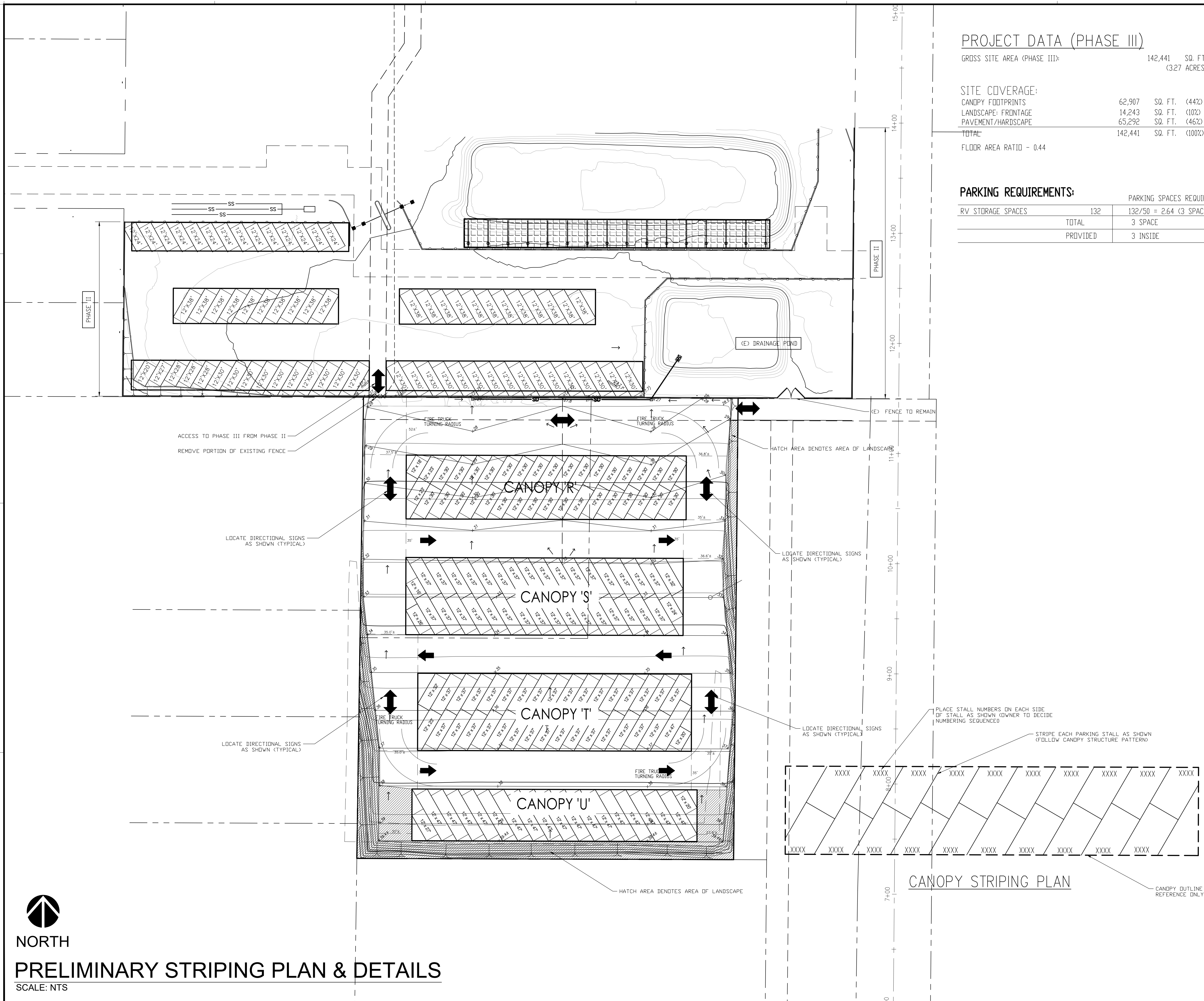
SITE COVERAGE:

CANOPY FOOTPRINTS	62,907	SQ. FT. (44%)
LANDSCAPE FRONTAGE	14,243	SQ. FT. (10%)
PAVEMENT/HARDSCAPE	65,292	SQ. FT. (46%)
TOTAL	142,441	SQ. FT. (100%)

FLOOR AREA RATIO - 0.44

PARKING REQUIREMENTS:

		PARKING SPACES REQUIRED	
RV STORAGE SPACES	132	132/50 = 2.64	(3 SPACES)
	TOTAL	3 SPACE	
	PROVIDED	3 INSIDE	



Approval Stamp



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PRELIMINARY STRIPING PLAN & DETAILS

Scale: As Noted

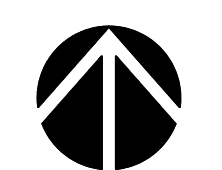
Proj No.: 2018-01

Owner's No.: N/A

Date: OCT. 5, 2018

Sheet Number:

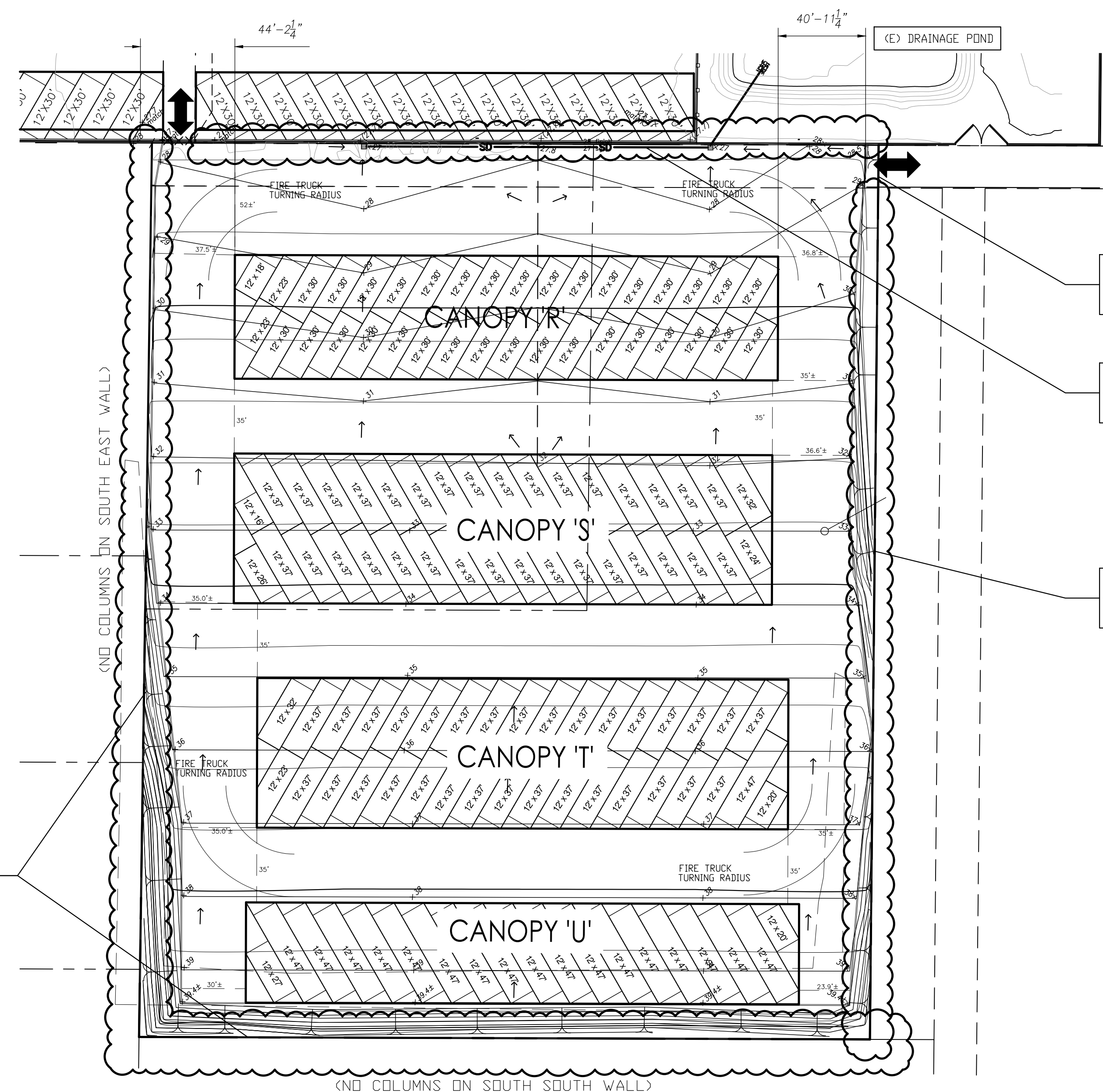
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NORTH

PRELIMINARY STRIPING PLAN & DETAILS

SCALE: NTS

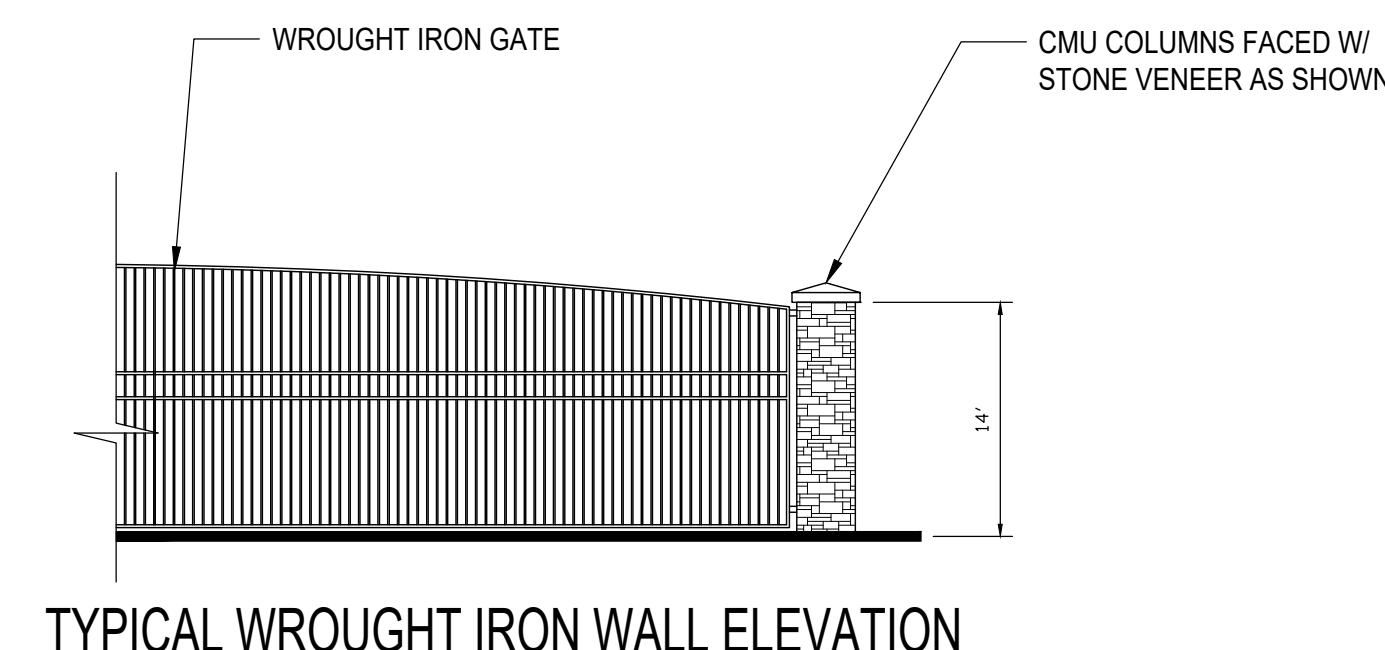
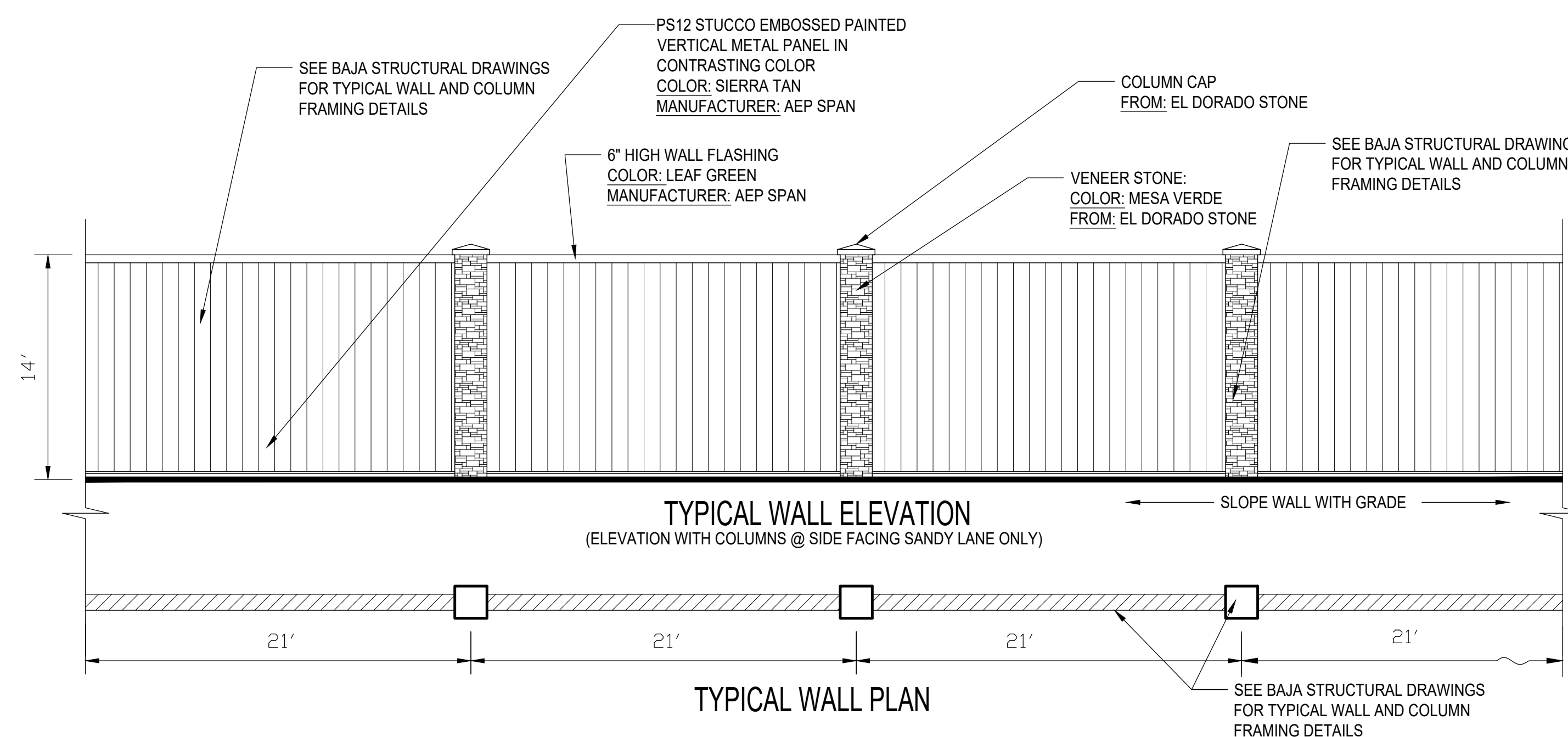


14' HIGH WALL PER WALL ELEVATION
 DETAIL ON THIS SHEET

NEW 14' HIGH X 20' WIDE WROUGHT
 IRON FENCE TO MATCH PHASE II GATE

14' HIGH WALL BUILT IN PHASE II
 TO REMAIN

14' HIGH WALL PER WALL ELEVATION
 DETAIL ON THIS SHEET



Approval Stamp



Revisions

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Oakley, CA 94561

Sheet Title:

**FENCING PLAN &
 DETAILS**

Scale: As Noted

Proj No.:

2018-01

Owner's No.:

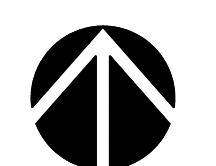
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Date:

OCT. 5, 2018

Sheet Number:

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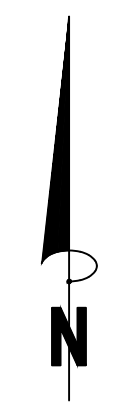
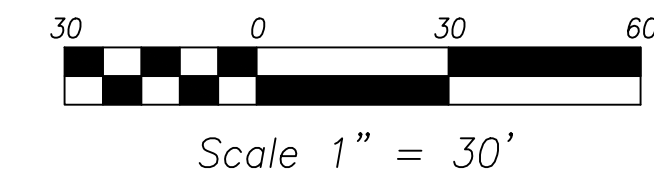
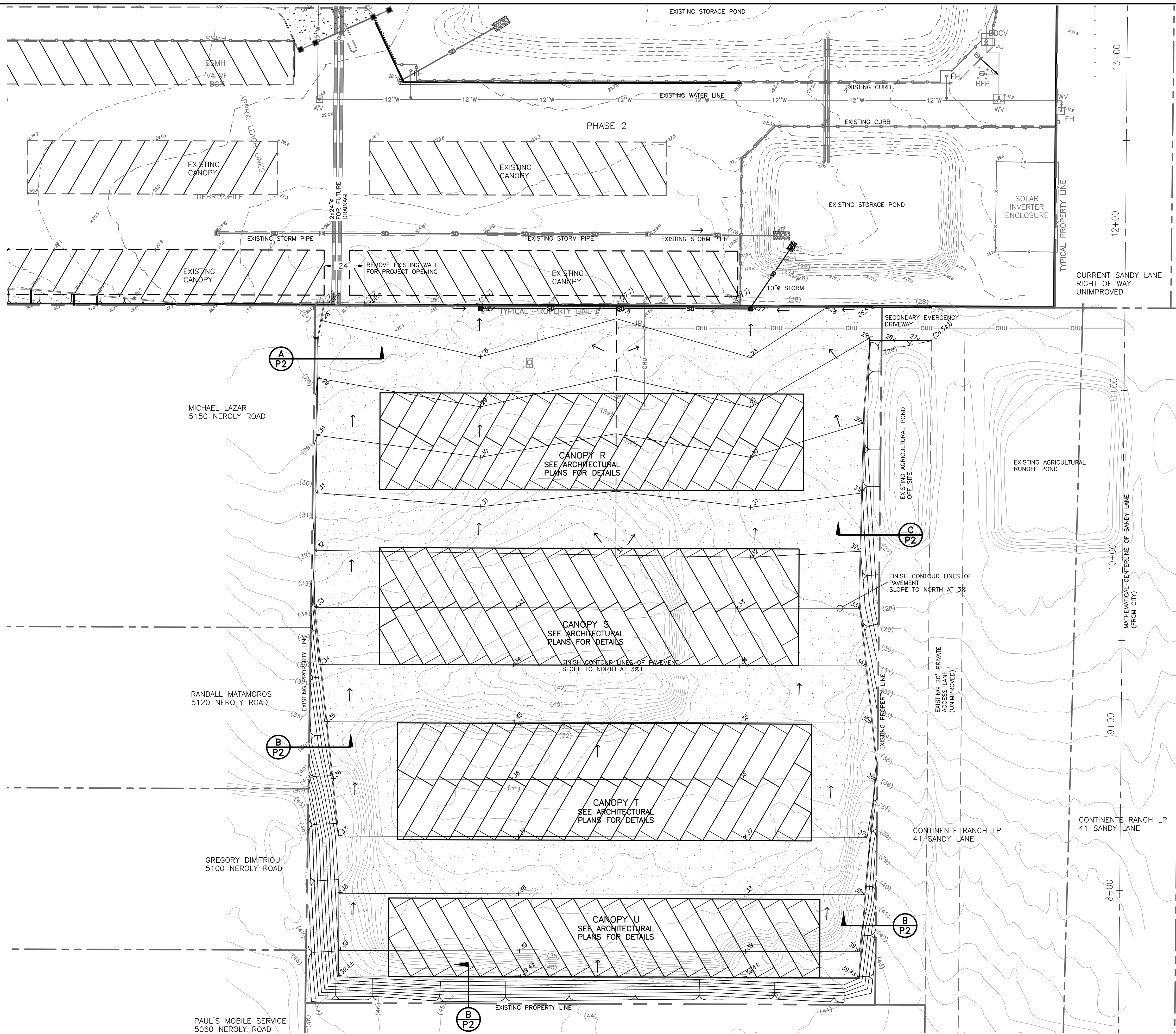


NORTH

FENCING PLAN & DETAILS

SCALE: NTS

THESE DRAWINGS ARE BEING RELEASED TO THE PLAN HOLDER, CULLEN-SHERRY & ASSOCIATES, INC. FOR THE USE OF THE PROJECT. ANY CHANGES TO THE DRAWINGS MADE BY ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF CULLEN-SHERRY & ASSOCIATES, INC. ARE AT THE USER'S RISK. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



STORM TREATMENT AND RETENTION NOTES:

THIS PROJECT IS PHASE 3 OF EXISTING RV STORAGE AND SOLAR FACILITY.

THE DRAINAGE FROM THIS PROJECT SLOPES NORTHERLY TO PHASE 2. THE DRAINAGE THEN DRAINS TO THE 2 STORM RETENTION PONDS AS SHOWN HEREON. THESE PONDS ARE SIZED TO RETAIN 1.5x 100 YEAR FLOW FROM ALL 3 PHASES OF THIS RV STORAGE FACILITY. SEPARATE CALCULATIONS ARE SUBMITTED.

THERE IS NO DISCHARGE INTO A PUBLIC STORM DRAINAGE FACILITY.

BECAUSE THIS ENTIRE RV AND SOLAR FACILITY (ALL 3 PHASES) DOES NOT DRAIN TO A PUBLIC STORM DRAINAGE FACILITY, FULL STORM TREATMENT IS NOT REQUIRED. DUE TO THEIR NATURE AS STORM RETENTION PONDS, THEY DO PROVIDE SOME STORM TREATMENT.

LEGEND

	NEW STORM DRAIN LINE
	DIRECTION OF FALL, DOWNHILL
	DRAINAGE HI POINT, GRADE BREAK
+27.5	FINISH GRADE (EXISTING GRADES SHOWN IN LIGHTER TEXT)
	TOP OF SLOPE
	TOE OF SLOPE
	PAVEMENT IN DRIVE AISLES: 3" AC, 8" AB
	PAVEMENT IN CANOPIES: 2 1/2" AC, 6" AB
	NEW 6" CURB

NOTES:

1. THESE PLANS ARE PRELIMINARY FOR SITE ENTITLEMENTS AND CITY APPROVAL ONLY. THEY ARE SUBJECT TO REVISION AND CHANGES AS THIS PROJECT IS REVIEWED. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION.
2. THE EARTHWORK ON THIS PROJECT IS INTENDED TO BALANCE. CUT= FILL. APPROXIMATELY 8000 CY OF CUT AND THEN FILL ON SITE. NO OFFHAUL FROM SITE.

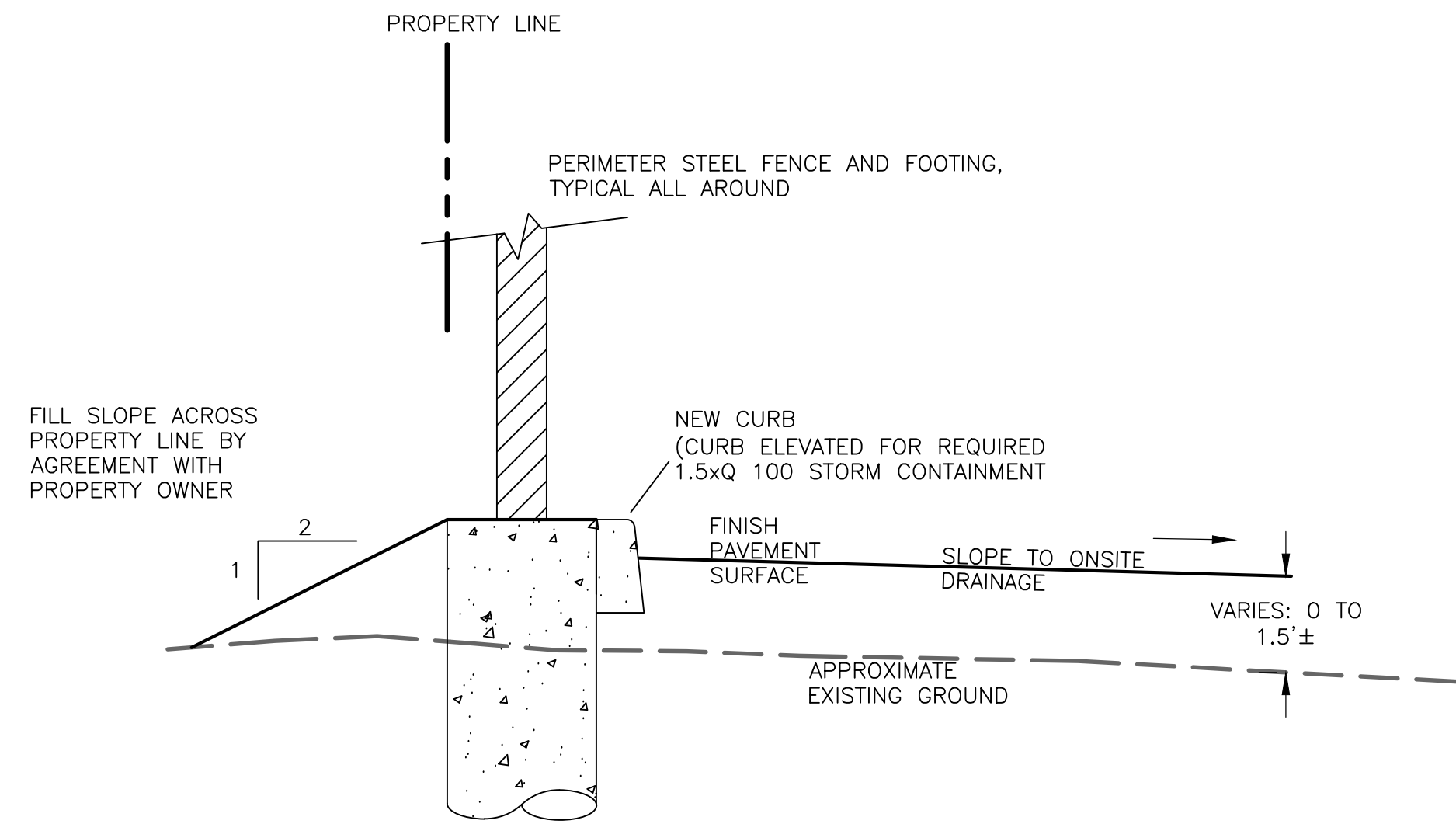
REV	DATE	DESCRIPTION	BY

CSA
Cullen-Sherry & Associates, Inc.
 Civil Engineering - Surveying
 1090 Adams Street, Suite A - P.O. Box 591, Benicia, California 94510
 (707) 745-9219 Fax (707) 745-9436 csa-engineers.com
 Dan Cullen RCE 26162 Rod Sherry RCE 61537

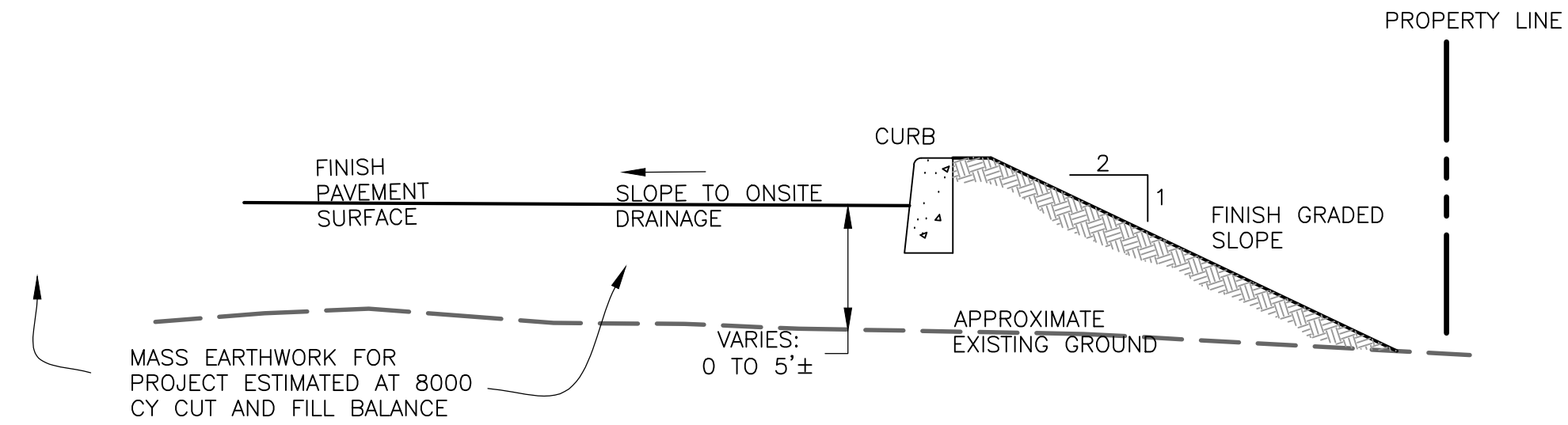
PRELIMINARY GRADING PLAN
RV STORAGE, PHASE 3
NEROLY ROAD
 OAKLEY, CALIFORNIA
 PREPARED FOR: HAYWORTH INVESTMENTS

SCALE:	1"=30'
DATE:	9-21-2018
DESIGN BY:	DC
DRAWN BY:	DC
CHECKED BY:	DC
FIELD BOOK:	
SHEET NUMBER:	
P1	
OF 2 SHEETS	
PROJECT # 18113	

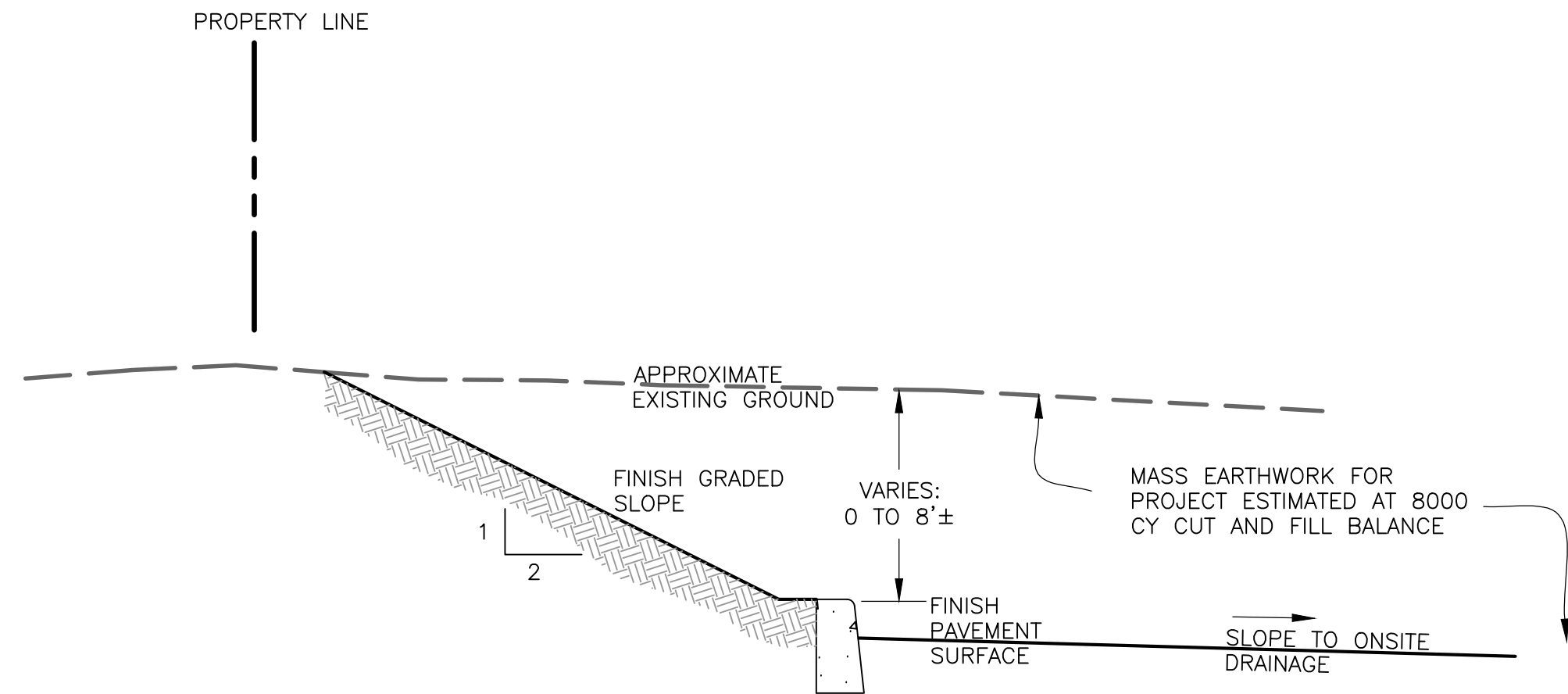
THESE PLANS AND SPECIFICATIONS ARE PRELIMINARY FOR SITE ENTITLEMENTS AND CITY APPROVAL ONLY. THEY ARE SUBJECT TO REVISION AND CHANGES AS THIS PROJECT IS REVIEWED. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION.



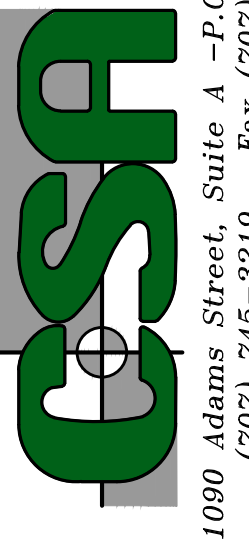
A
P2 GRADING SECTION AT WEST PROP LINE 1"-2"



C
P2 GRADING SECTION AT EAST PROP LINE 1"-2"



B
P2 GRADING SECTION AT WEST PROP LINE 1"-2"



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(707) 745-3219 Fax (707) 745-9130 csa-engineers.com
Dan Cullen RC# 26162 Rod Sherry RC# 61537

GRADING DETAILS
RV STORAGE PROJECT, PHASE 3
NEROLY ROAD
OAKLEY, CALIFORNIA
PREPARED FOR: HAYWORTH INVESTMENTS

SCALE: AS NOTED
DATE: 8-27-18
DESIGN BY: DC
DRAWN BY: DC
CHECKED BY: DC
FIELD BOOK:
SHEET NUMBER:

NOTES:
1. THESE PLANS ARE PRELIMINARY FOR SITE ENTITLEMENTS AND CITY APPROVAL ONLY. THEY ARE SUBJECT TO REVISION AND CHANGES AS THIS PROJECT IS REVIEWED. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION.

REV	DATE	DESCRIPTION	BY

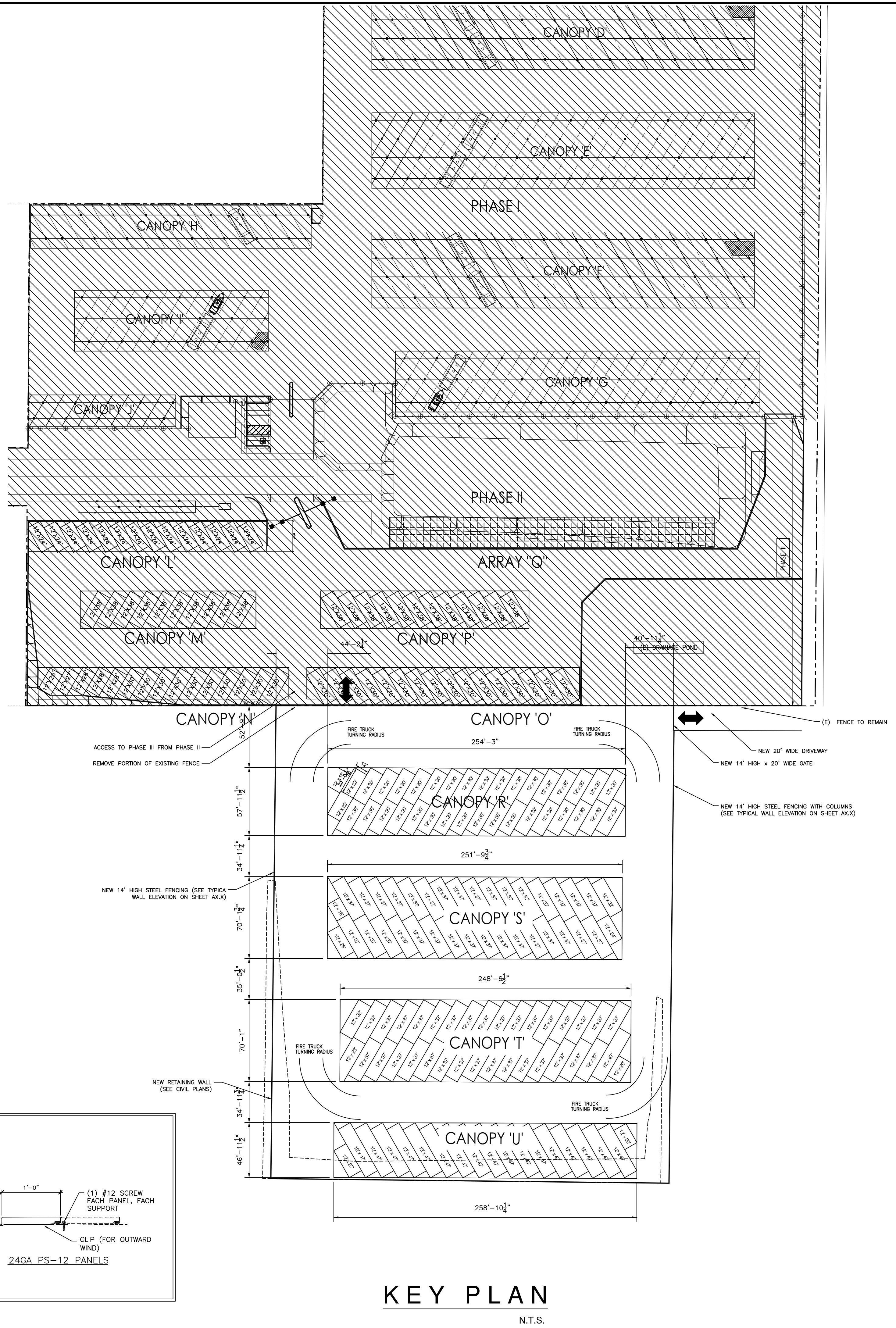
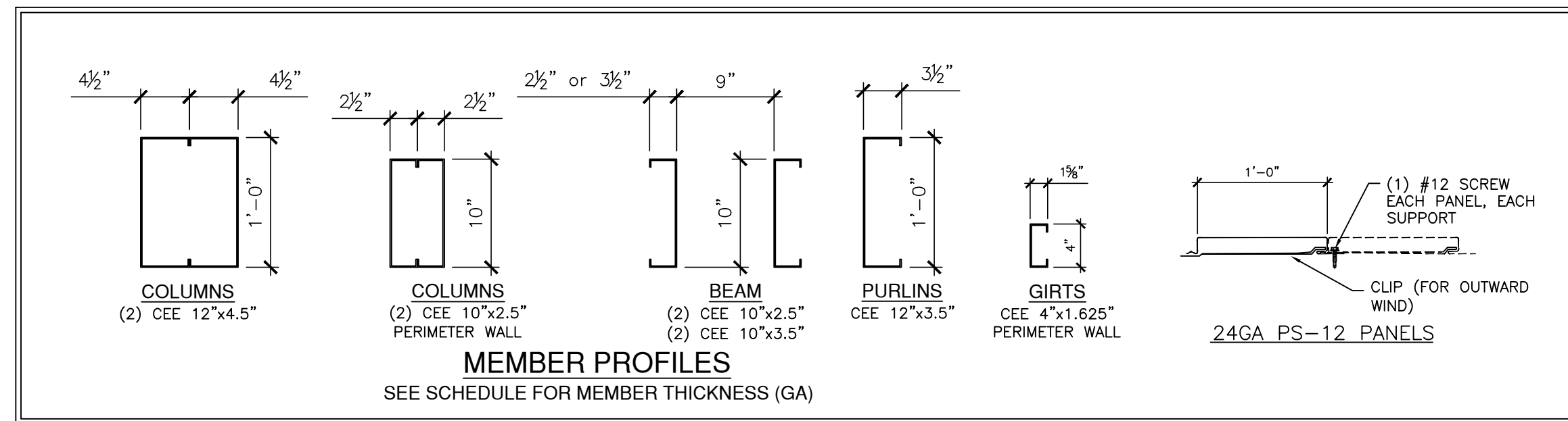
SCHEDULE			
MODEL NO.	CANOPY R	CANOPY S & T	CANOPY U
OCCUPANCY GROUP	-		
TYPE OF CONSTRUCTION	-		
DEPTH OF CAR SPACE	57'-11 1/2"	64'-11 1/4"	36' 9 3/4"
BAY WIDTH	27'-8 3/16"		
ROOF PANEL	Fy = - KSI		
ROOF PURLIN	Fy = - KSI		
ROOF BEAM	Fy = - KSI		
COLUMN	COLUMN C1: (2) CEE -" x -" x -GA BOXED COLUMN C2: (2) CEE -" x -" x -GA BOXED COLUMN C3: (2) CEE -" x -" x -GA BOXED Fy = - KSI (min.)		
CONC. PIER FOOTING UNCONSTRAINED CONDITION (Fin. Grade: Soil or Asphalt)	COLUMN C1: -" x -" DEEP WITH (#) VERTICAL REINF. BARS AND # TIES AT -" O.C. COLUMN C2 AND C3: -" x -" DEEP W/ (#) REINF. BARS EACH WAY		
ALTERNATIVE SPREAD FOOTING	COLUMN C1: -" x -" DEEP W/ (#) REINF. BARS EACH WAY COLUMN C2 AND C3: -" x -" DEEP W/ (#) REINF. BARS EACH WAY		

PRELIMINARY
 NOT FOR CONSTRUCTION OR
 BUILDING DEPARTMENT SUBMITTAL

GENERAL STRUCTURAL NOTES

- CODE**
 -- EDITION OF THE CALIFORNIA BUILDING CODE
 -- AISI-NAS COLD-FORMED STEEL DESIGN MANUAL
- LOADS**
 ROOF LIVE LOAD = 20 PSF, REDUCIBLE
 BASIC WIND SPEED (3-SECOND GUST): 85 MPH, EXP. "C"
 WIND IMPORTANCE FACTOR = 1.0
 Kz = 0.85 Kzt = 1.0 G = 0.85 qz = 14.03 PSF
COMPONENTS AND CLADDING:
 ZONE 1: p1=+17.487 PSF p1=-15.500 PSF
 ZONE 2: p2=+26.230 PSF p2=-23.448 PSF
 ZONE 3: p3=+34.973 PSF p3=-46.499 PSF
 SEISMIC DESIGN CATEGORY "D"
 SEISMIC IMPORTANCE FACTOR = 1.0
 SITE CLASS "D" Ss = 1.478 S1 = 0.489
 SEISMIC FORCE RESISTING SYSTEM: CANTILEVERED COLUMN ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE DESIGN BASE SHEAR = 0.6569W
- FOUNDATION**
 PIER FOUNDATION DESIGN BASED ON AN ALLOWABLE SOIL SKIN FRICTION OF 500 PSF AND PASSIVE PRESSURE OF 400 PSF/FT PER "HULTGREN-TILLIS, ENGINEERS" SOILS REPORT RECOMMENDATIONS, JOB NO. 625.01.
- CONCRETE**
 ALL CONCRETE REQUIRED HEREIN SHALL BE DONE IN ACCORDANCE W/ ACI STANDARD 318-02, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, WHICH IS HEREBY MADE A PART IF THESE DOCUMENTS, WITH THE FOLLOWING MODIFICATIONS:
 PARA 2.1.2: CEMENT SHALL COMPLY W/ ASTM C150, TYPE II.
 PARA 3.2: F'c SHALL BE 2500 PSI AT 28 DAYS FOR ALL CONCRETE.
 PARA 4.1.3: THE USE OF EARTH CUTS FOR FORMS IS PERMITTED.
 PARA 5.2: REINFORCING SHALL BE NEW BILLET STEEL COMPLYING W/ ASTM A615, GRADE 60.
- STEEL ROOF DECKING**
 STEEL ROOF DECK SHALL BE AEP SPAN "HR-36" (ICC ESR-1414) OR EQUAL, CONFORMING TO THE SPECIFICATIONS OF THE STEEL DECK INSTITUTE; ASTM A792, ASTM A653, OR ASTM A611 WITH A MINIMUM YIELD STRENGTH OF 80 KSI AND A MINIMUM TENSILE STRENGTH OF 82 KSI.
- LIGHT GAUGE STRUCTURAL STEEL FRAMING**
 ALL LIGHT GAGE STEEL FRAMING MEMBERS TO BE SUPPLIED BY ASC PROFILES (AEP SPAN) OR OTHER MANUFACTURERS W/ EQUIVALENT QUALIFICATIONS.
 ALL STRUCTURAL STEEL FRAMING MATERIALS AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN IRON AND STEEL INSTITUTE "SPECIFICATIONS FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS": ASTM A653 OR ASTM A570 WITH A MINIMUM YIELD STRENGTH Fy=55 KSI AND MINIMUM TENSILE STRENGTH Fu=65 KSI.
 ALL WELDING TO BE PERFORMED BY WELDERS HOLDING A VALID CERTIFICATE AND HAVING CURRENT EXPERIENCE IN LIGHT GAGE STEEL. CERTIFICATES SHALL BE ISSUED BY AN ACCEPTED TESTING AGENCY. DO NOT DRILL OR NOTCH MEMBERS WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
 STRUCTURAL STEEL MEMBERS SHALL BE FURNISHED TO THE SPECIFIED MINIMUM YIELD POINT OR GREATER. THE ASTM GRADE, AND OTHER SPECIFICATIONS SHALL BE INDICATED BY SUITABLE MEANS ON EACH LIFT OR BUNDLE OF FABRICATED MATERIAL.
- FASTENERS**
 STEEL SCREW FASTENERS SHALL BE ITW BUILDEX SELF-DRILLING SCREWS (ESR-1976) OR EQUAL, COMPLYING WITH THE REQUIREMENTS OF THE CBC.

- CONTRACTORS**
 THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUEST FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. SHOP DRAWINGS SUBMITTED TO THE ENGINEER FOR HIS REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS NOTED THAT SPECIFIC CHANGES ARE BEING REQUESTED. IF CHANGES ARE MADE WITHOUT WRITTEN APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTORS OR SUBCONTRACTORS INVOLVED AND IT SHALL BE THEIR RESPONSIBILITY TO REPLACE OR REPAIR THE CONDITION AS DIRECTED BY THE ENGINEER.
 CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING ERECTION. THESE PROVISIONS SHALL REMAIN IN POSITION UNTIL SUFFICIENT PERMANENT MEMBERS ARE ERECTED TO INSURE THE SAFETY OF THE PARTIALLY ERECTED STRUCTURES. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- ENGINEER OF RECORD**
 BAJA CONSTRUCTION CO., INC. AND/OR THEIR ENGINEERING CONSULTANTS IS ONLY RESPONSIBLE FOR THE CONTENTS OF THESE DRAWINGS AND STRUCTURAL CALCULATIONS AS PROVIDED FOR THIS PROJECT. BAJA CONSTRUCTION CO., INC. AND THEIR ENGINEERING CONSULTANTS ARE NOT CONSIDERED THE ENGINEER OF RECORD FOR ANYTHING OTHER THAN THE PREFABRICATED STEEL SYSTEM CANOPY/CARPORT/RV & BOAT STORAGE/OR MINI-STORAGE SYSTEMS THAT IS SHOWN ON THESE PLANS.
 THESE PLANS ARE APPLICABLE ONLY TO THE SPECIFIC PROJECT NOTED ON THE PLANS. IN ADDITION, THESE PLANS ARE ONLY APPLICABLE TO THIS PROJECTS PROVIDED BAJA CONSTRUCTION PROVIDES AND INSTALLS ALL MATERIAL SPECIFIED HEREIN.



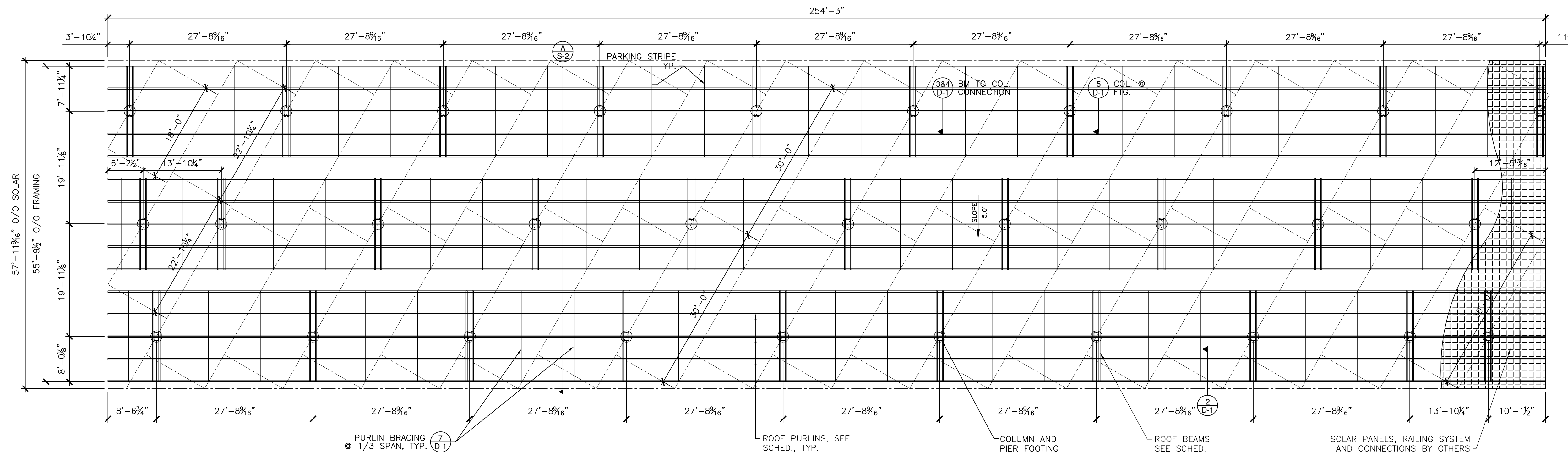
BAJA CONSTRUCTION CO., INC.
 223 FOSTER ST., MARTINEZ CA 94553
 1-800-366-9600 FAX: (925) 229-0161

Solar Support Structures
 EXECUTIVE RV STORAGE - PHASE III
 5220 Neroly Road Oakley, CA 94561
 for: Hayworth Fabian LLC

NOTES-KEY PLAN-SCHED
FRAMING PLAN & SECTION

PROJ. NO.: 18-0816	DATE: 9/20/18
DRAWN: RM	CHECKED: R.P.
SHEET: S-1	

1 OF 5

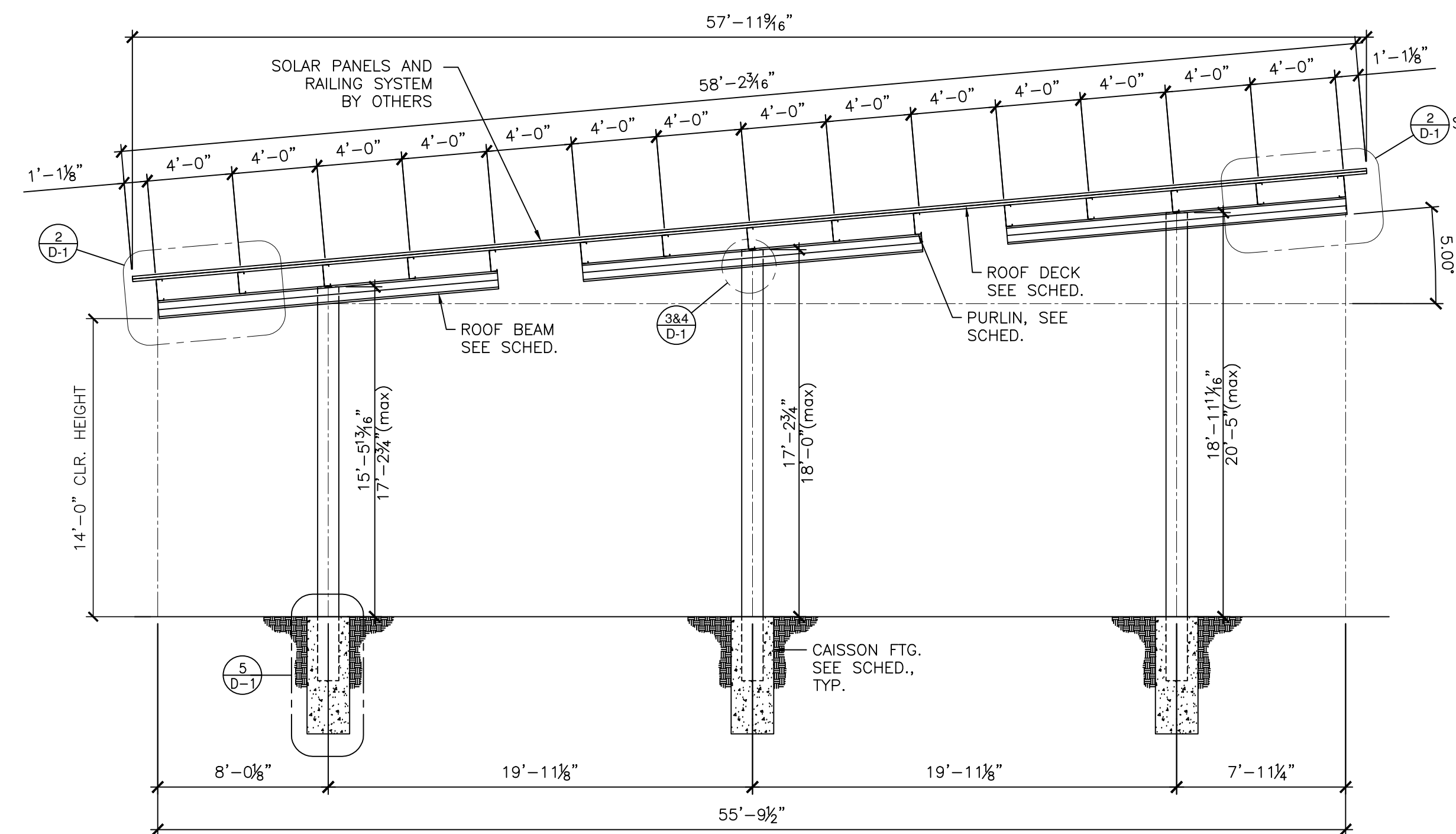


FRAMING AND FOUNDATION PLAN

(CANOPY R) 14,736 SF

3/32"=1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION OR
 BUILDING DEPARTMENT SUBMITTAL



A SECTION SECTION
 (CANOPY R)

3/16"=1'-0"

FRAMING PLAN & SECTION

Solar Support Structures
 EXECUTIVE RV STORAGE - PHASE III
 5220 Neroly Road Oakley, CA 94561
 for: Hayworth Fabian LLC

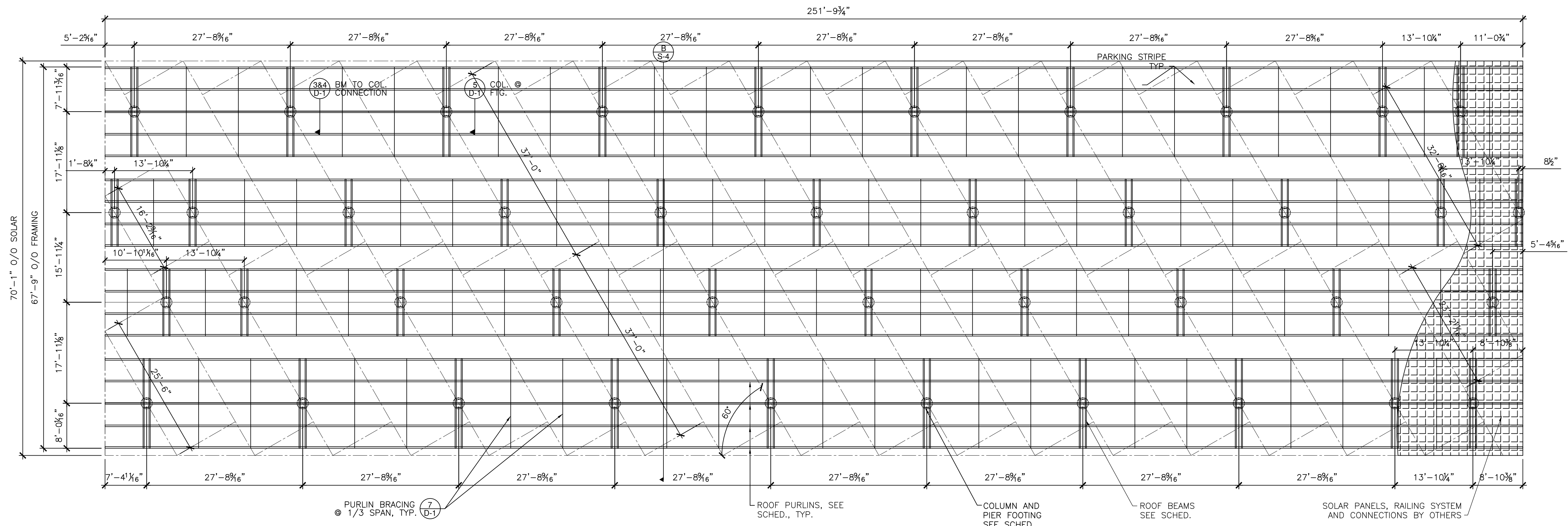
BAJA
 CONSTRUCTION CO., INC.
 223 FOSTER ST., MARTINEZ CA 94553
 1-800-366-9600 FAX: (925) 229-0161

PROJ. NO.:	DATE:
18-0816	9/20/18
DRAWN:	CHECKED:
RM	R.P.

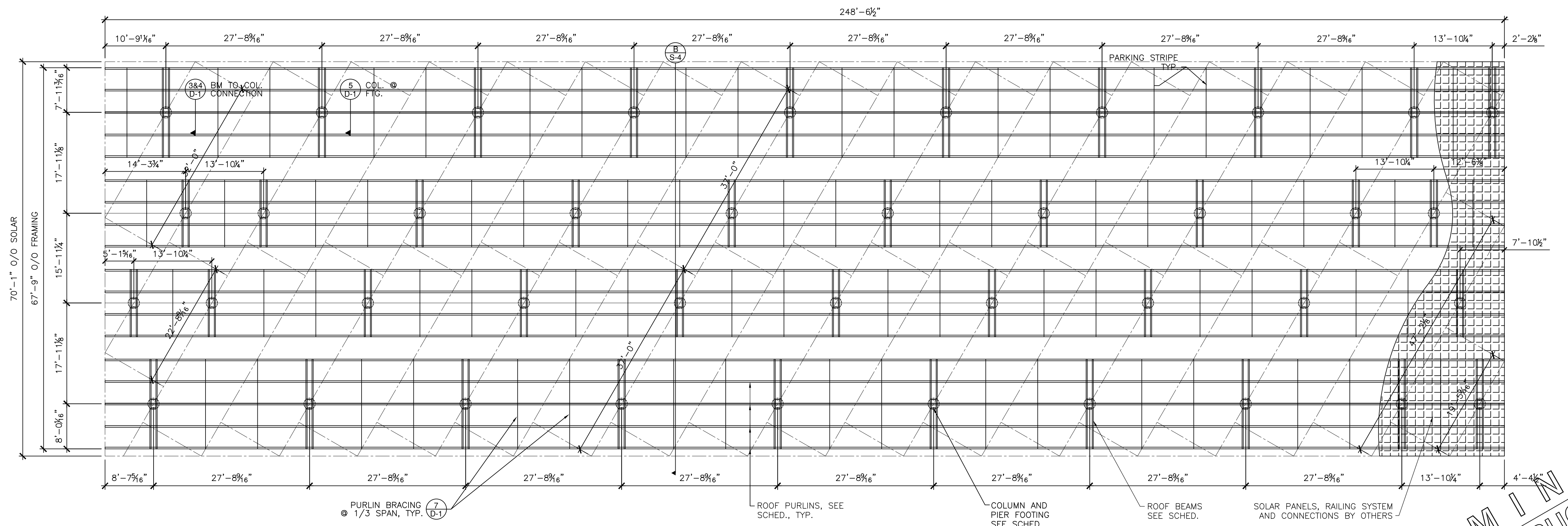
SHEET:

S-2

2 OF 5



FRAMING AND FOUNDATION PLAN
(CANOPY S) 17,647 SF



FRAMING AND FOUNDATION PLAN
(CANOPY T) 17,418 SF

P R E L I M I N A R Y
 NOT FOR CONSTRUCTION OR
 BUILDING DEPARTMENT SUBMITTAL

FRAMING PLAN

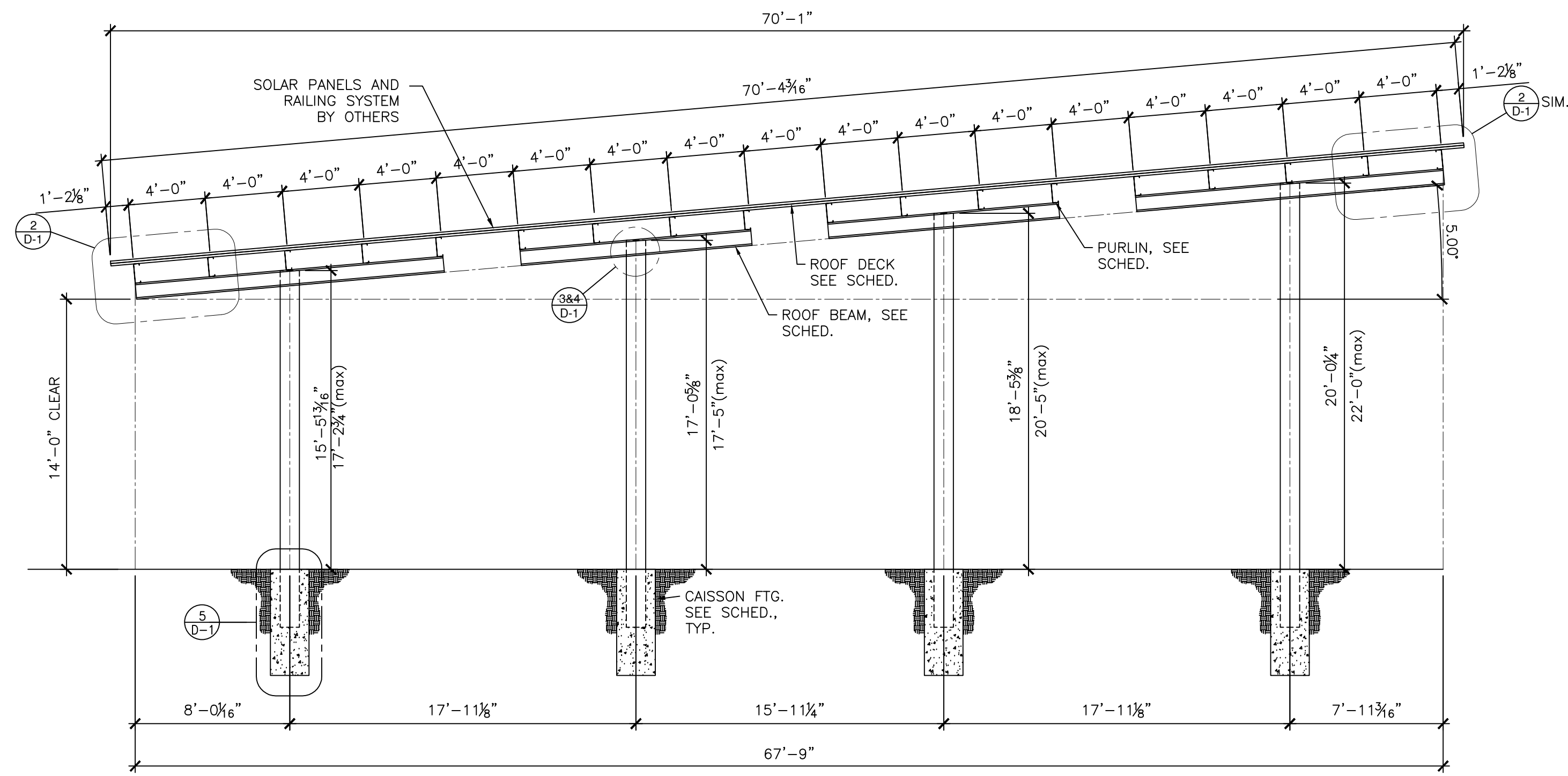
Solar Support Structures
 EXECUTIVE RV STORAGE - PHASE III
 5220 Neroly Road Oakley, CA 94561
 for: Hayworth Fabian LLC

BAJA
 CONSTRUCTION CO., INC.
 223 FOSTER ST., MARTINEZ CA 94553
 1-800-366-9600 FAX: (925) 229-0161

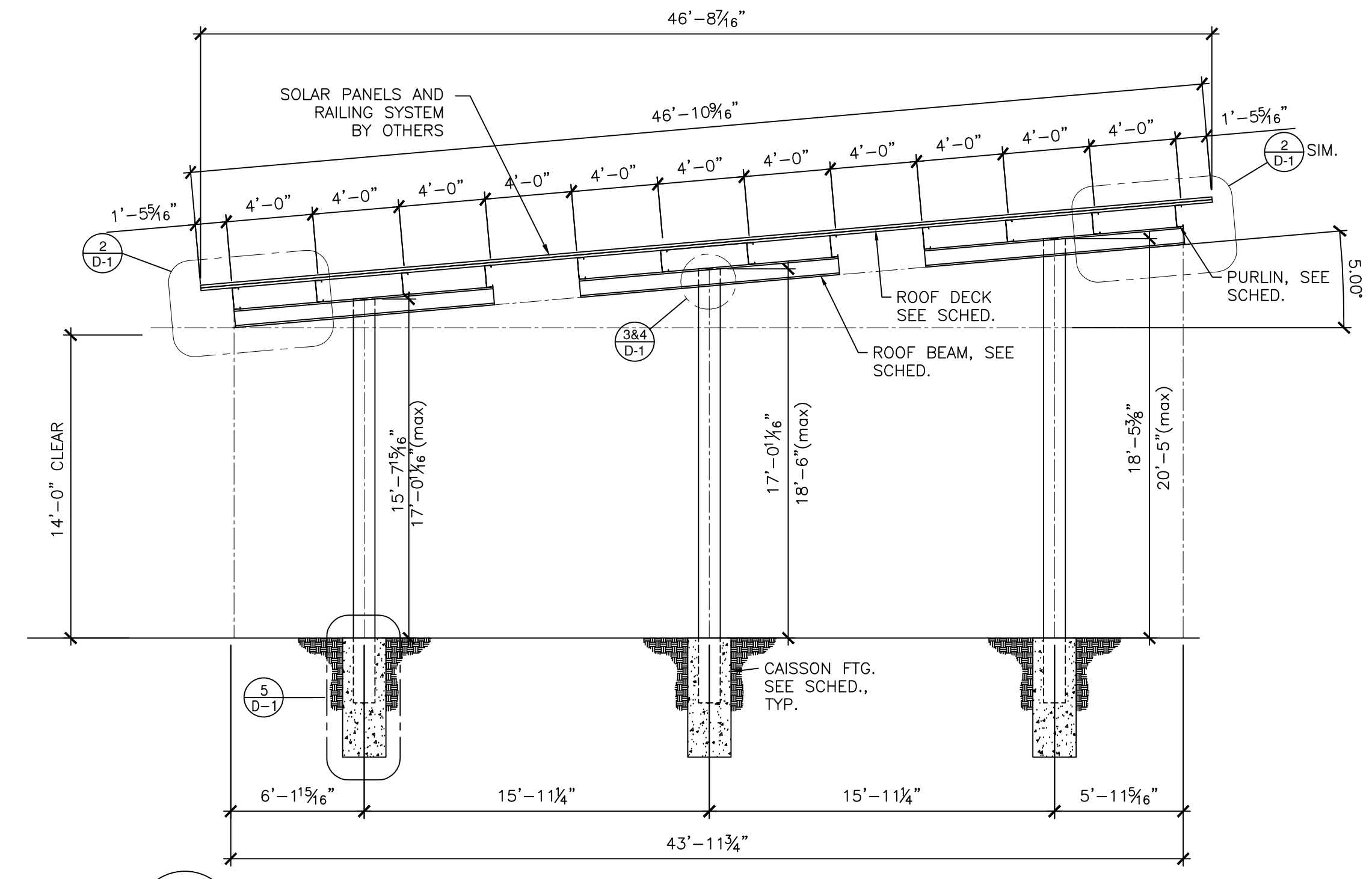
REV. NO.	DATE	DESCRIPTION

PROJ. NO.: 18-0816	DATE: 9/20/18
DRAWN: RM	CHECKED: R.P.

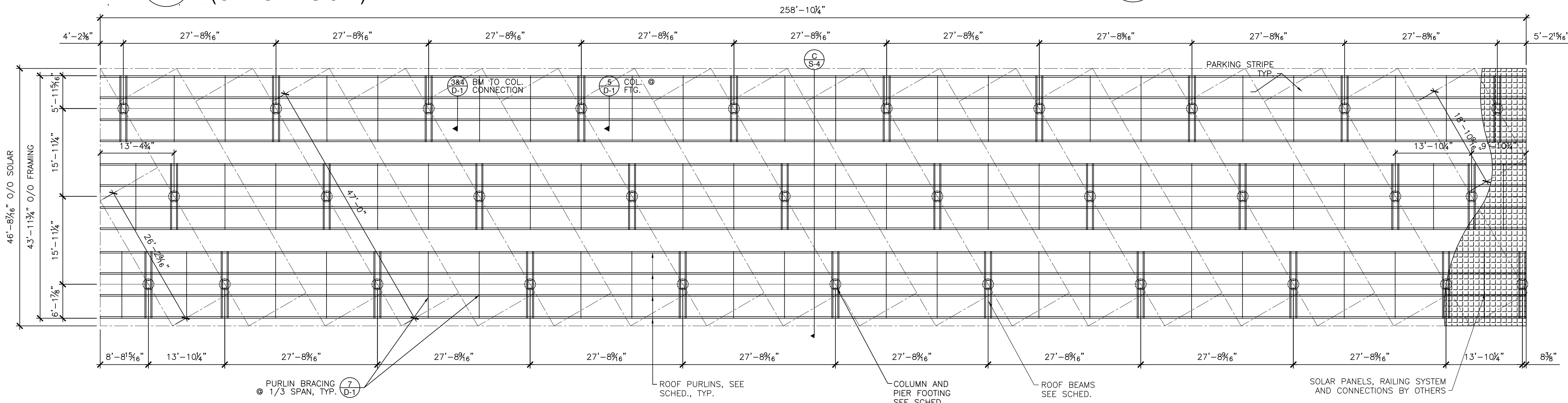
SHEET:
S-3
 3 OF 5



B SECTION SECTION
(CANOPY S & T) 3/16"=1'-0"



C SECTION SECTION
(CANOPY U) 3/16"=1'-0"



FRAMING AND FOUNDATION PLAN

(CANOPY U) 12,089 SF 3/32"=1'-0"

P R E L I M I N A R Y
NOT FOR CONSTRUCTION OR
BUILDING DEPARTMENT SUBMITTAL

FRAMING PLAN & SECTION

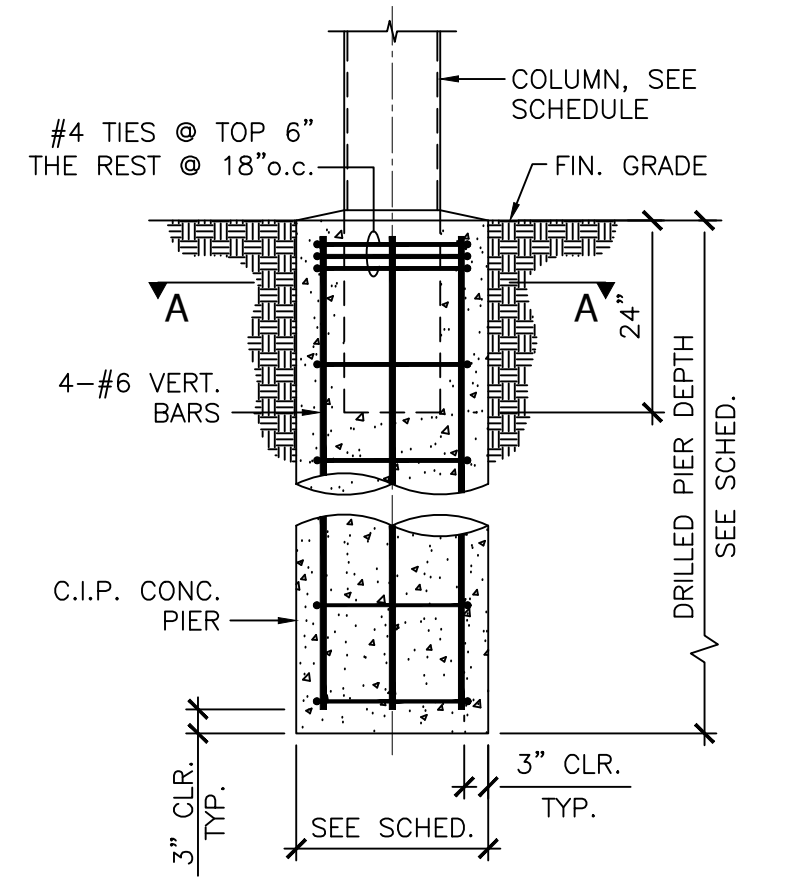
Solar Support Structures
EXECUTIVE RV STORAGE - PHASE III
5220 Neroly Road Oakley, CA 94561
for: Hayworth Fabian LLC

BAJA
CONSTRUCTION CO., INC.
223 FOSTER ST., MARTINEZ CA 94553
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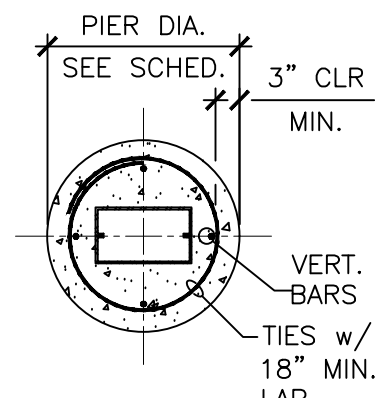
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PROJ. NO.: 18-0816	DATE: 9/20/18
DRAWN: RM	CHECKED: R.P.

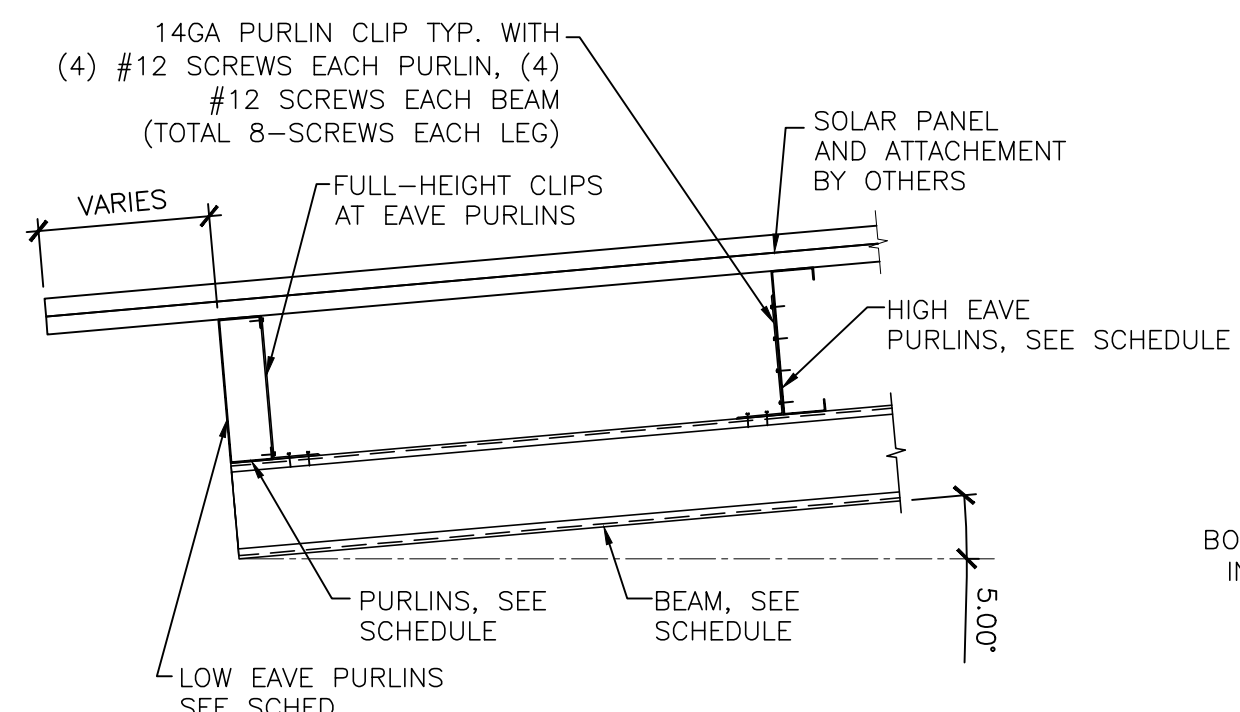
SHEET: **S-4**
4 OF 5



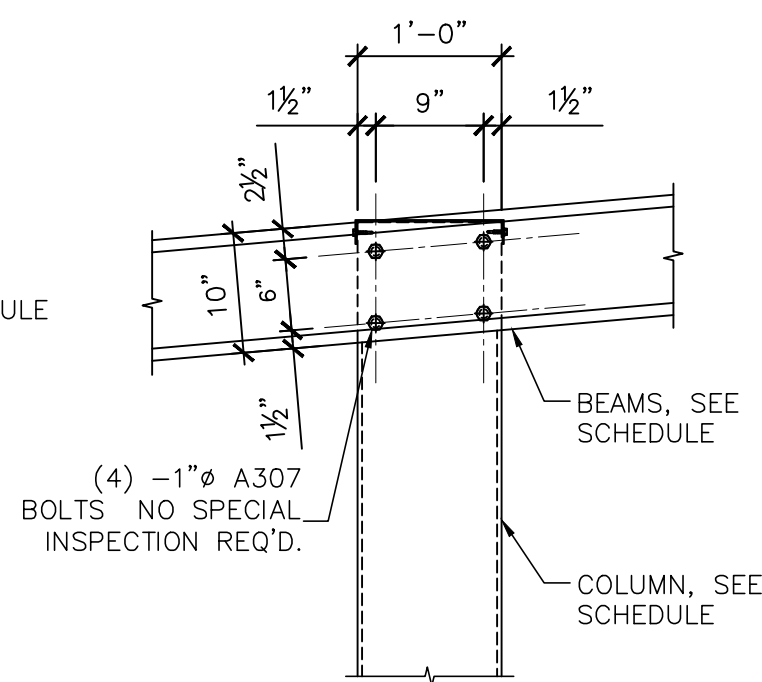
1 PIER FOOTING
N.T.S.



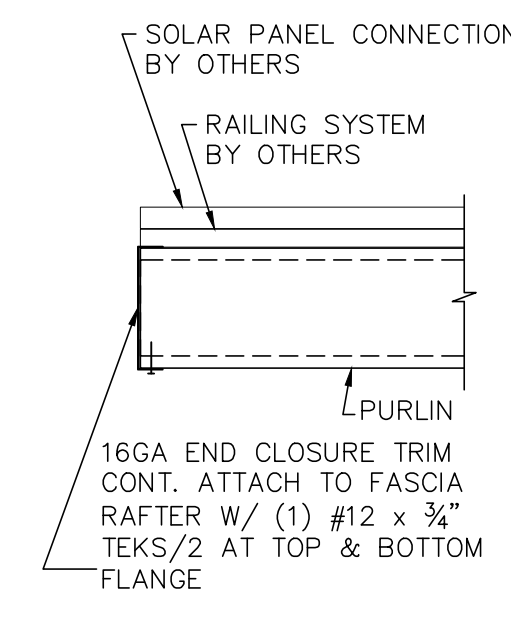
SECTION A-A
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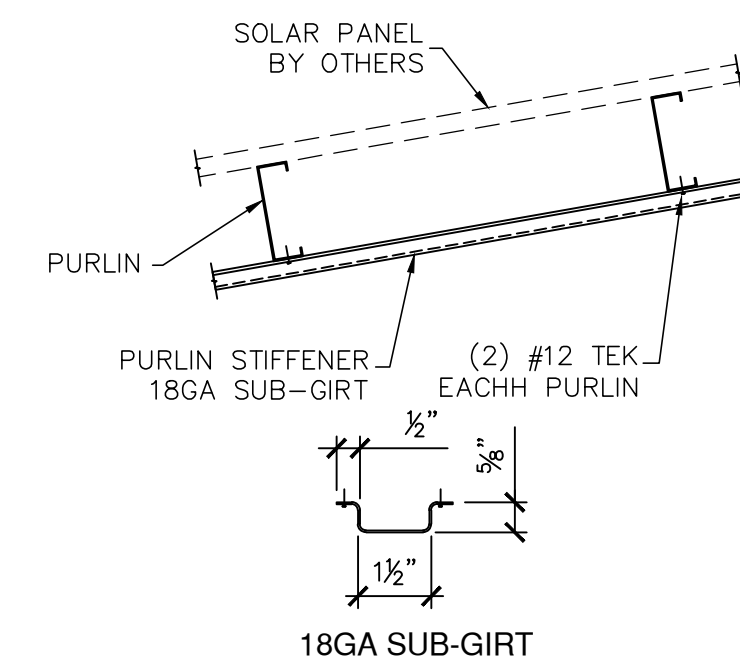
2 PURLIN TO BEAM
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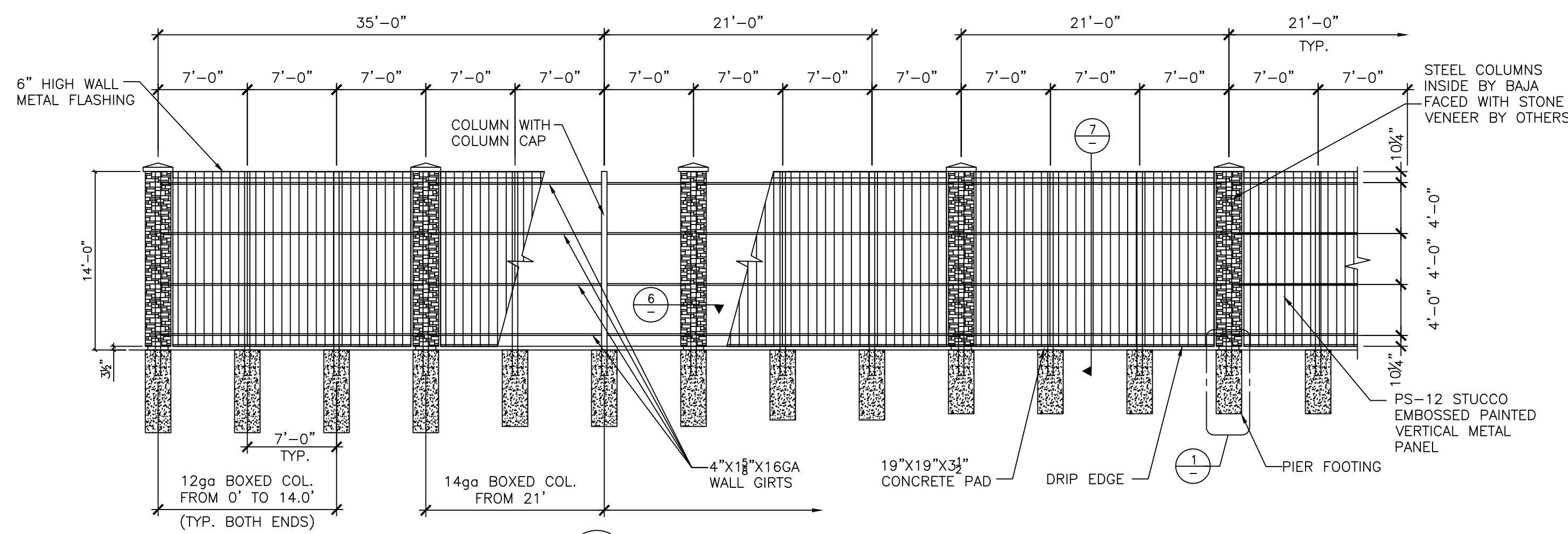
3 COLUMN TO BEAM
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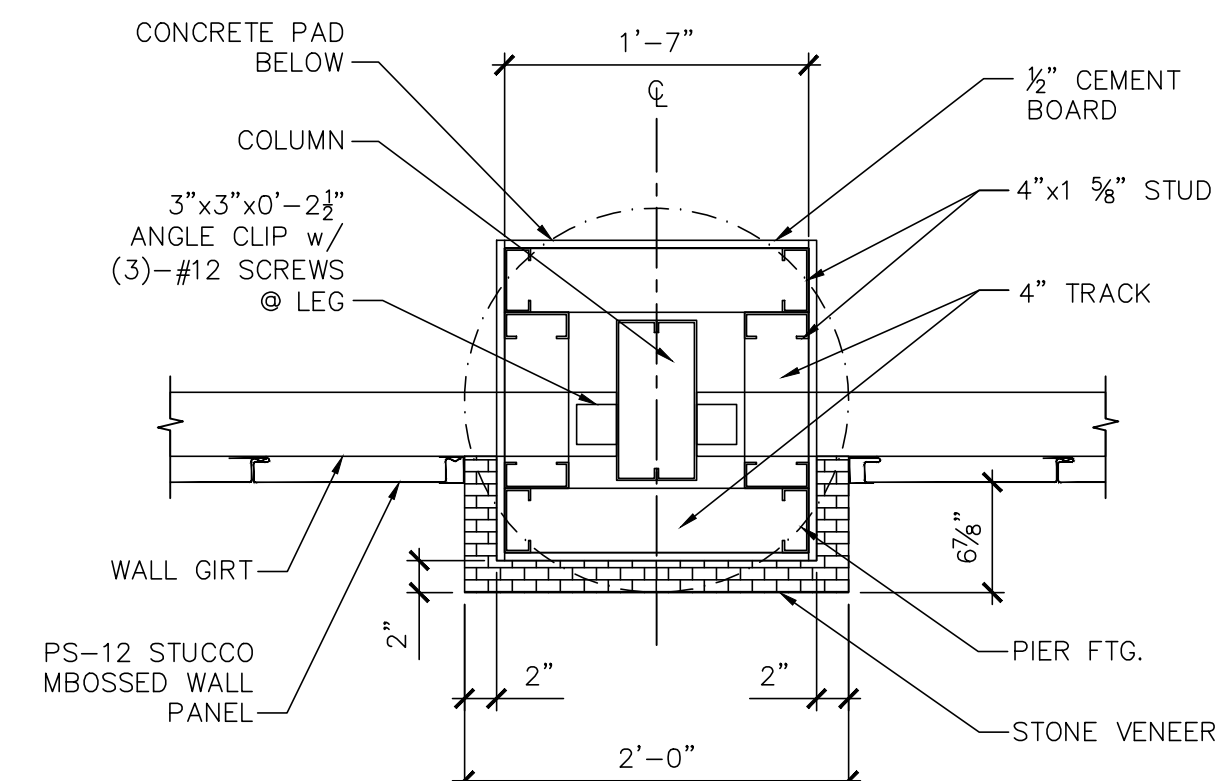
4 PURLIN CLOSURE
N.T.S.



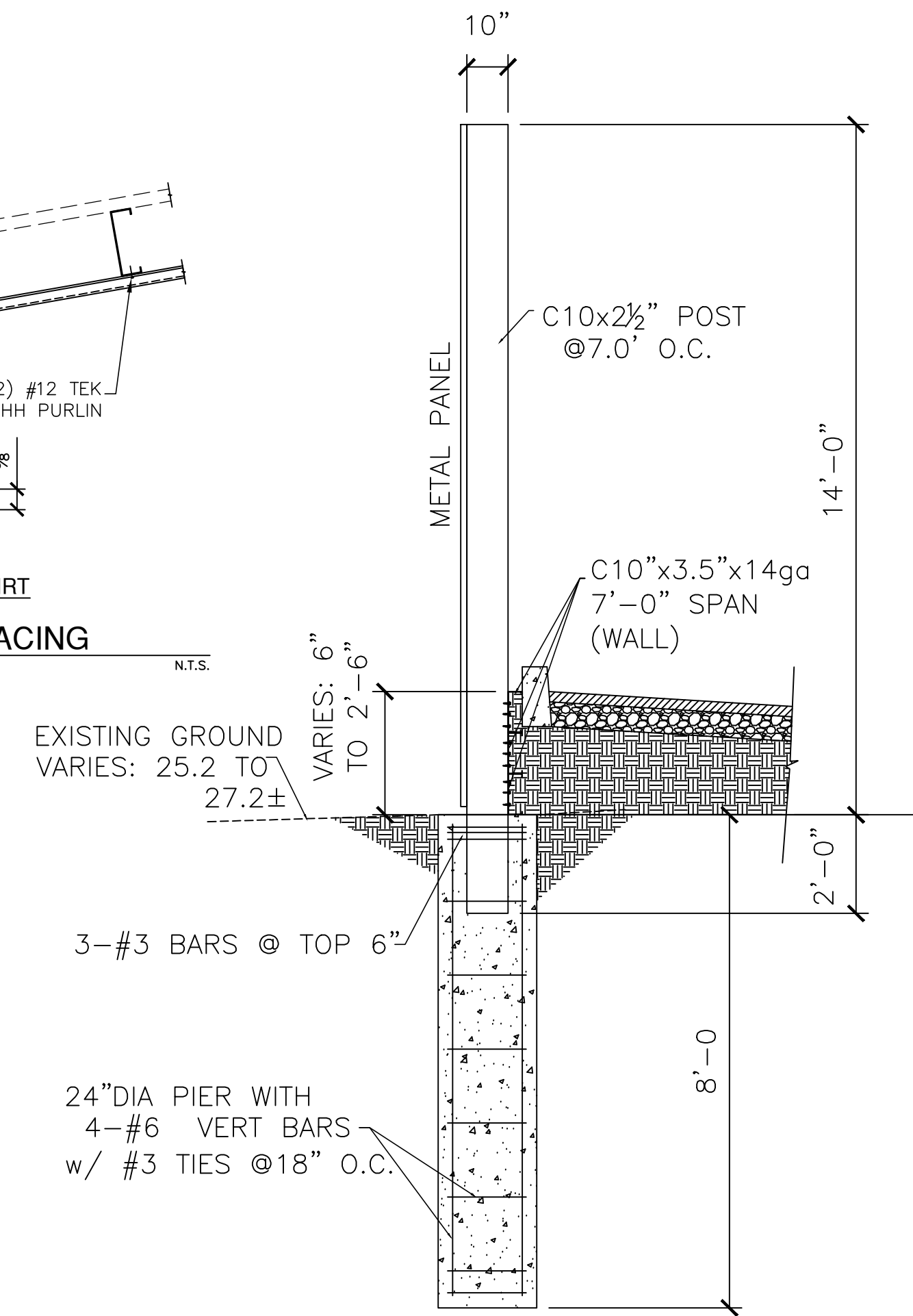
5 PURLIN BRACING
N.T.S.



7 TYPICAL WALL ELEVATION
3/16"=1'-0"



6 ROCK PIER DETAIL
N.T.S.



7 TYP. WALL SECTION
N.T.S.

P R E L I M I N A R Y
NOT FOR CONSTRUCTION OR
BUILDING DEPARTMENT SUBMITTAL

DETAILS

Solar Support Structures
EXECUTIVE RV STORAGE - PHASE III
5220 Neroly Road Oakley, CA 94561
for: Hayworth Fabian LLC

BAJA
CONSTRUCTION CO., INC.
223 FOSTER ST., MARTINEZ CA 94553
1-800-366-9600 FAX: (925) 229-0161

REV. NO.	DATE	DESCRIPTION

PROJ. NO.: 18-0816	DATE: 9/20/18
DRAWN: RM	CHECKED: R.P.

SHEET: S-5
5 OF 5